



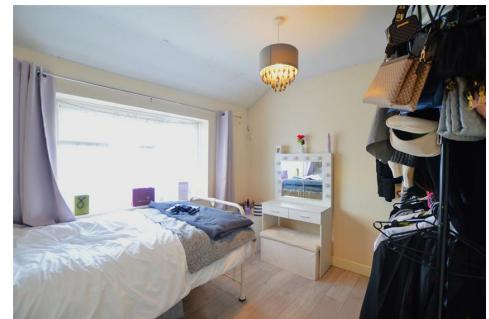
**Aldridge Road, Slough, SL2 1TJ**

**Guide Price £400,000 Freehold**

**SPACIOUS FAMILY HOME - NO ONWARD CHAIN**

Recently decorated throughout, is this well presented three bedroom mid terrace family home. The property benefits from a spacious lounge, fitted kitchen/ diner, downstairs cloakroom, upstairs bathroom, a good sized rear garden with potential to extend STPP. The property is a short walk to the Farnham Road shops, Claycots Primary School, Kennedy Recreational Fields and local amenities. The property is also ideally situated with convenient transport links to the town centre, M4 & M40 Motorways and links to the Cross Rail service into London. Viewing highly recommended.

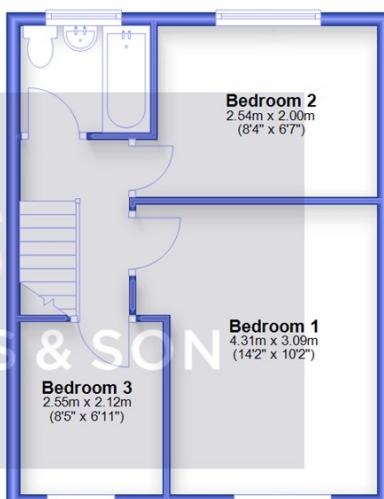




**Ground Floor**



**First Floor**



Whilst every attempt has been made to ensure the accuracy of the floor plan contained here, measurements of doors, windows and rooms are approximate and no responsibility is taken for any error, omission or misstatement. These plans are for representation purposes only and should be used as such by any prospective purchaser. Specifically no guarantee is given on the total square footage of the property if quoted on this plan. Any figure given is for initial guidance only and should not be relied on as a basis of a valuation or for any legal purpose.  
Plan produced using PlanUp.

- Three Bedroom Mid Terrace Family Home
- Downstairs Cloakroom
- Front & Rear Garden
- Spacious Kitchen/ Diner
- Potential to Extend STPP
- DG & GCH
- Well Presented Throughout
- Council Tax Band - C
- Close to Local Schools & Amenities
- EPC - C



Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		
EU Directive 2002/91/EC		

Environmental Impact (CO <sub>2</sub> ) Rating		
	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) A		
(81-91) B		
(69-80) C		
(55-68) D		
(39-54) E		
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